

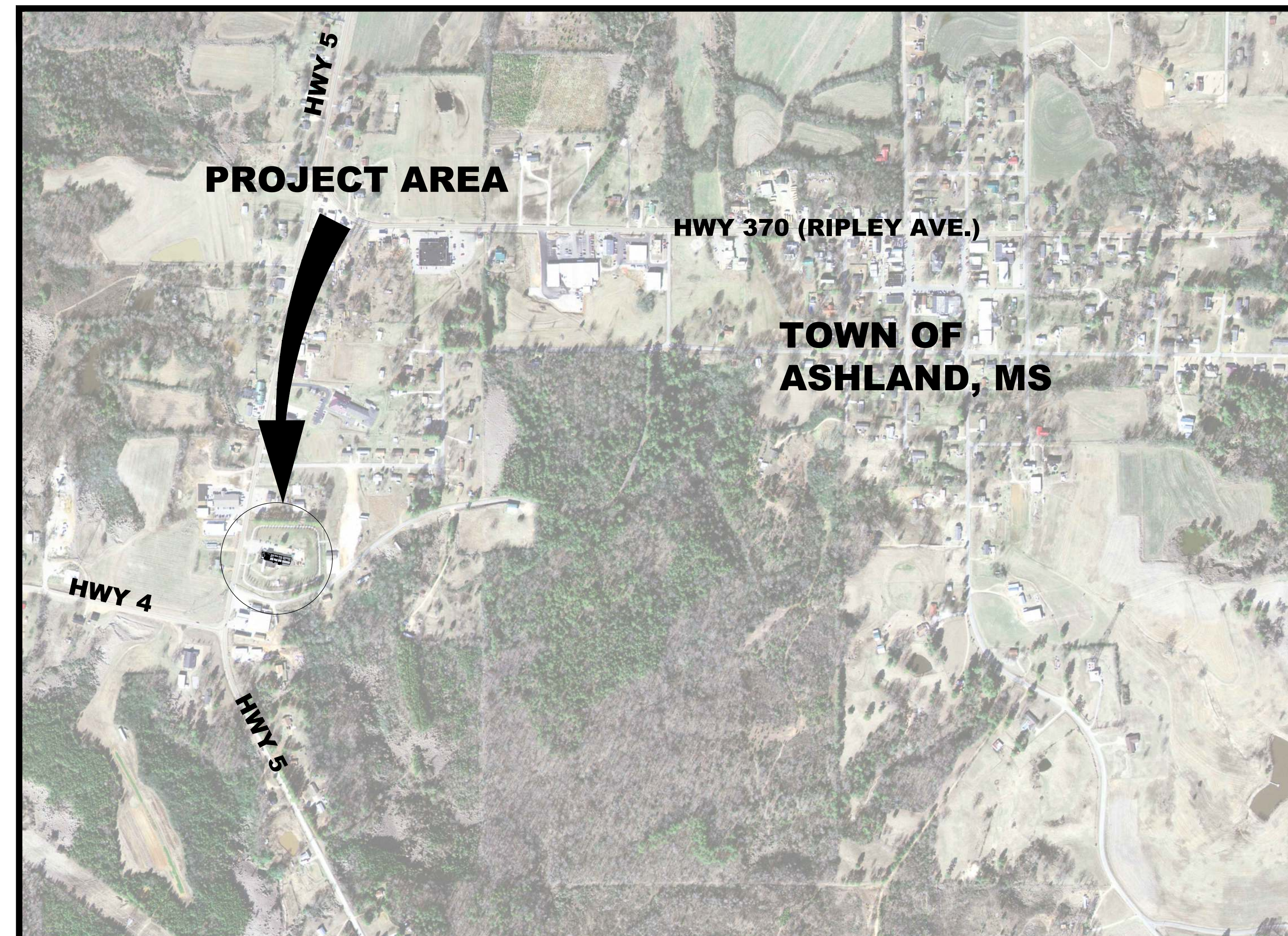
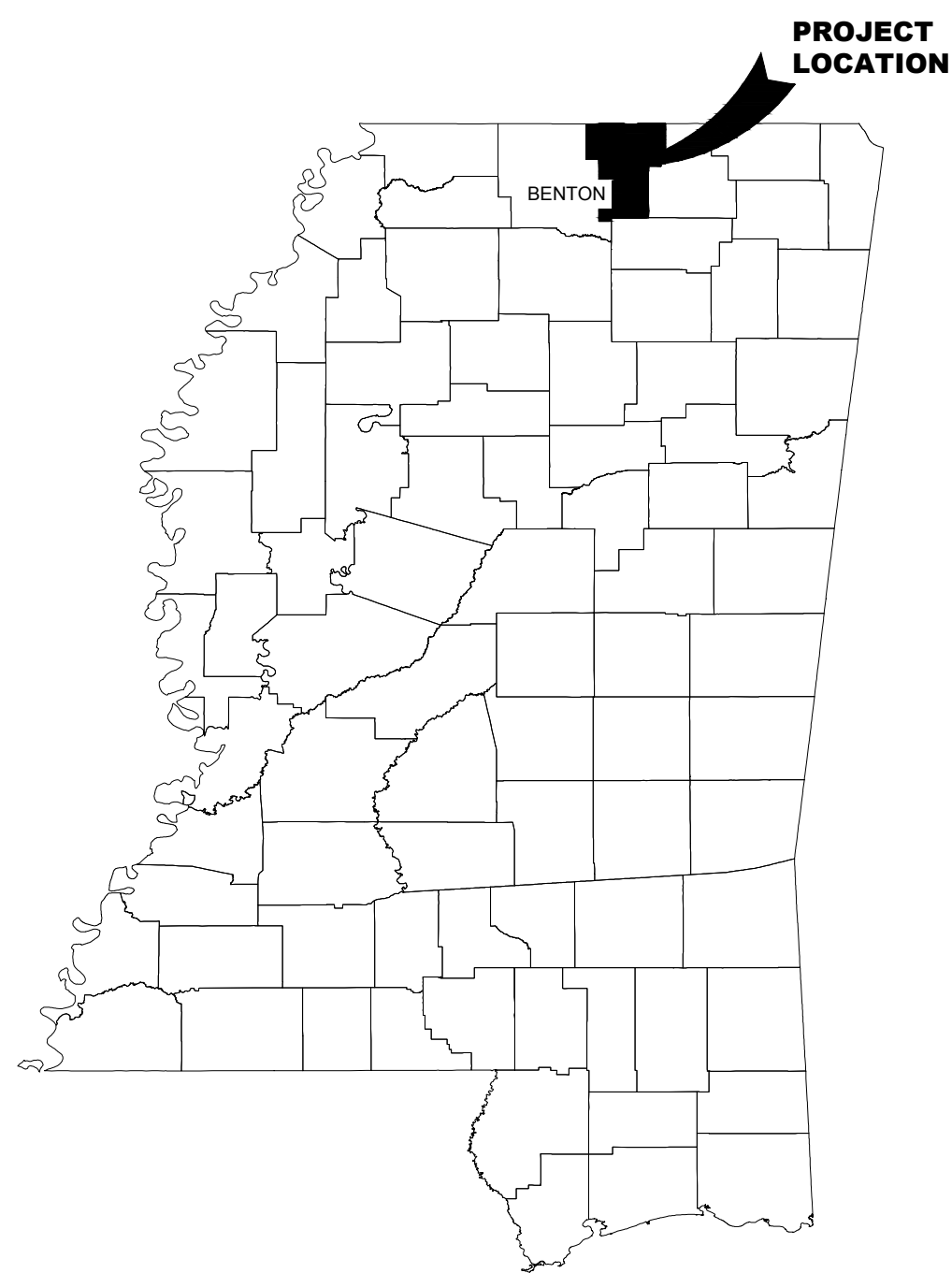
# TOWN OF ASHLAND BENTON COUNTY, MISSISSIPPI MUNICIPAL COMPLEX BUILDING

SCALE:  
1"=500'  
ISSUE DATE:  
JULY, 2021

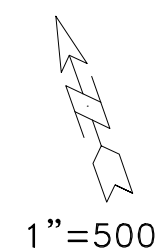
1719A City Ave. N  
Ripley, MS 38863  
P. 662-837-8545  
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REVISIONS
1FB 07/06/2021



VICINITY MAP



SHEET INDEX

T-0	TITLE PAGE
C-1	SITE PLAN
C-2	PLAN VIEW
C-3	ELEVATION VIEW
D-1	DETAILS



OWNER:  
TOWN OF ASHLAND  
P.O. BOX 246  
ASHLAND, MS 38813-0246  
(662)-224-6282

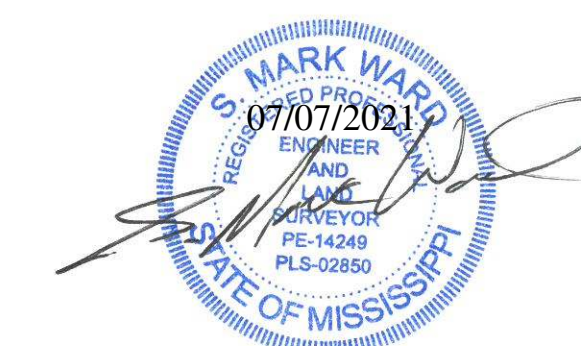
## MUNICIPAL OFFICIALS

**MAYOR**  
MITCH CARROLL

**ALDERMAN**  
SANDRA GRESHAM, VICE-MAYOR  
MARK EHRIE  
BRIAN JEANS  
DON DANIEL  
GREG THOMPSON

**TOWN CLERK**  
TRINA THOMPSON

**TOWN ATTORNEY**  
FARESE, FARESE AND FARESE, PA



S. MARK WARD  
MS PE - 14249, MS PLS - 02850

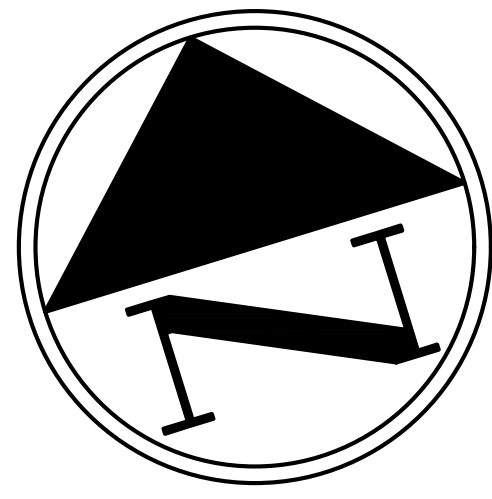
PROJECT TITLE:  
MAINTENANCE SHOP BUILDING AND FACILITY IMPROVEMENTS  
ASHLAND, BENTON COUNTY, MISSISSIPPI

SHEET TITLE:  
TITLE PAGE

PROJECT NO.  
ASH-21001

SHEET NO.  
**T-0**

\*REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH LOCAL CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE CONTRACTOR OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE LOCAL CODES SHALL GOVERN, IF ANY CONFLICTS OCCUR WITH THE PLANS OR SPECIFICATIONS.\*



MISSISSIPPI HIGHWAY 5

EXISTING WATER VALVE

EXISTING MANHOLE  
TOP: 630.16  
INVERT: 620.66

CONTROL POINT  
N 1938491.324  
E 877400.747  
ELEVATION: 629.48

EXISTING POWER POLE

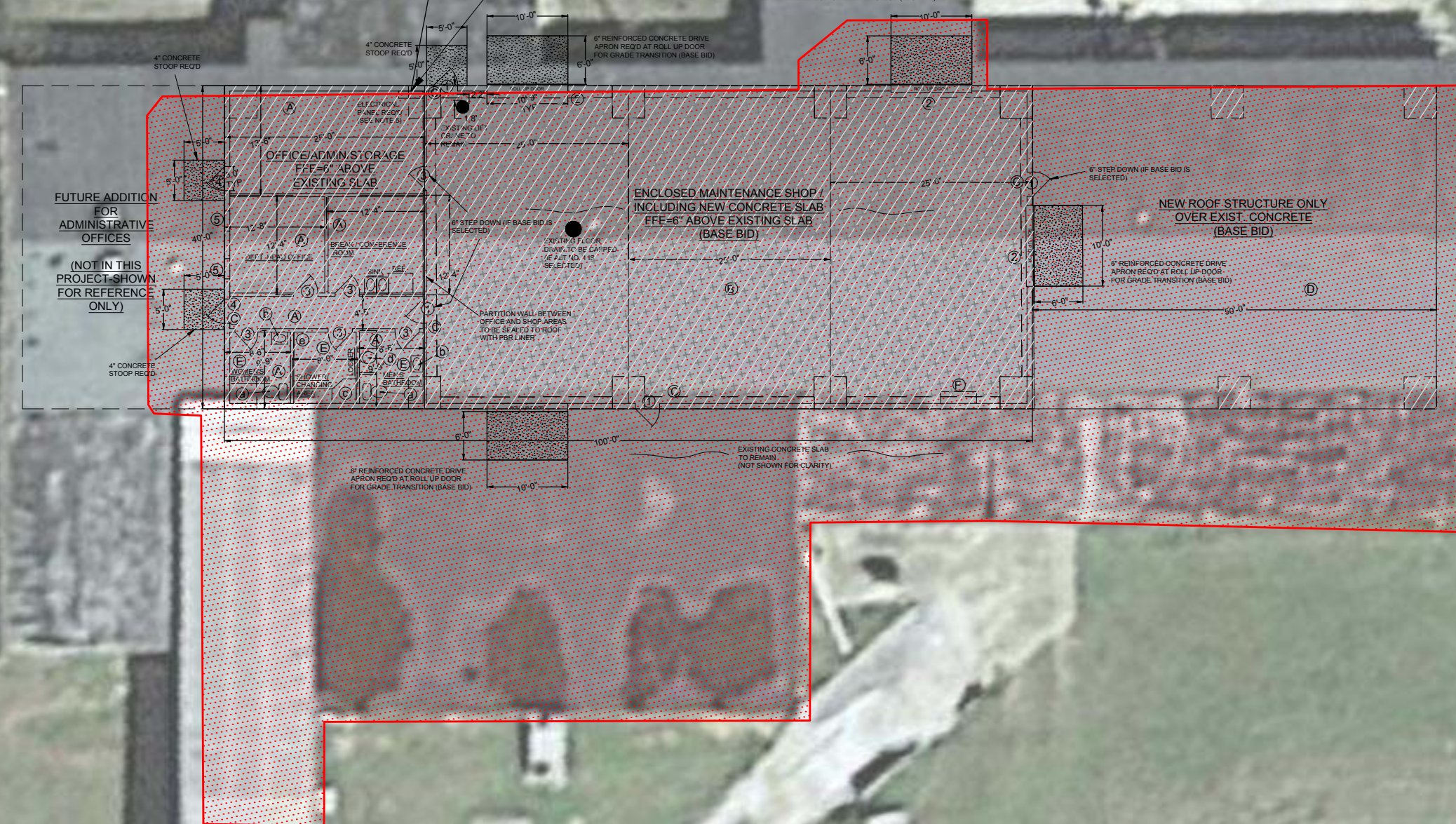
EXISTING POWER POLE

EXISTING PARKING LOT

EXISTING GAS SERVICE

BM

EXISTING MANHOLE



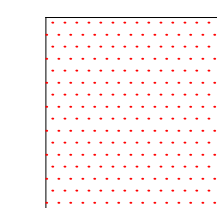
**SITE UTILITY NOTES:**

1. ALL WATER, SEWER, AND NATURAL GAS SERVICES TO BE PROVIDED WITHIN 10' OF BUILDING BY OTHERS.
2. CONTRACTOR WILL BE RESPONSIBLE FOR ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO MAKE CONNECTIONS TO PROVIDED SERVICES.
3. CONTRACTOR WILL BE RESPONSIBLE FOR ALL LABOR, EQUIPMENT, MATERIAL, AND FEES NECESSARY TO PROVIDE COMPLETE ELECTRICAL POWER SYSTEM (INCLUDING ANY TEMPORARY SERVICE NEEDED DURING CONSTRUCTION) FROM EXISTING TRANSFORMER AS SHOWN ON PLAN TO NEW PARK BUILDING.

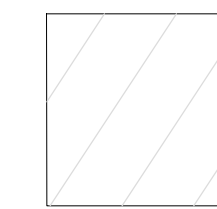
**EARTHWORK NOTES:**

1. CONTRACTOR WILL BE RESPONSIBLE FOR ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED TO PROVIDE UNCLASSIFIED EXCAVATION AND BORROW MATERIAL AS NECESSARY TO MAKE RECOMMENDED FOUNDATION IMPROVEMENTS.

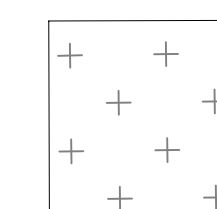
**LEGEND:**



EXISTING CONCRETE SLAB REMAINING (EXISTING BUILDING REMOVED BY OTHERS)



EXISTING CONCRETE SLAB TO BE REMOVED AND REPLACED (BASE BID)



EXISTING CONCRETE SLAB TO REMAIN (ALT. NO. 1)

"REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH LOCAL CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE LOCAL CODES SHALL GOVERN. IF ANY CONFLICTS OCCUR WITH THE PLANS OR SPECIFICATIONS, ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION."

**GENERAL NOTES**

1. THE LOCATION OF THE EXISTING UTILITIES ARE BASED ON RECORDS FROM SAID UTILITY COMPANIES AND ARE HORIZONTALLY FIELD LOCATED ONLY. THE CONTRACTORS SHALL BE RESPONSIBLE FOR CONTACTING MISSISSIPPI ONE CALL (811 OR 1-800-227-6477) AND DETERMINING THE EXACT LOCATION OF ALL UTILITIES (PUBLIC & PRIVATE) PRIOR TO THE START OF CONSTRUCTION.
2. PRIOR TO THE INSTALLATION OF ANY DRAINAGE OR UTILITY LINE, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF ANY CONFLICTS THAT MIGHT ARISE.
3. CONTRACTOR SHALL BEAR ALL RESPONSIBILITY AND COST OF REPAIR OR REPLACEMENT OF EXISTING UTILITIES, DAMAGED OR INTERRUPTED AS A RESULT OF THIS CONSTRUCTION PROJECT.
4. CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AND THE OWNER OF ANY DAMAGED OR INTERRUPTED UTILITIES IMMEDIATELY.
5. ALL SEWER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT THE TOWN OF ASHLAND STANDARD SPECIFICATIONS AND DETAILS.
6. ALL WATER LINES AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT THE TOWN OF ASHLAND STANDARD SPECIFICATIONS AND DETAILS.
7. CONTRACTOR SHALL NOTIFY PROJECT ENGINEER IN WRITING 48 HOURS PRIOR TO BEGINNING WORK.
8. CONTRACTOR WILL CONTROL AND PREVENT OFF-SITE TRACKING OF CONSTRUCTION RUNOFF AND SEDIMENT TO ADJACENT PROPERTY AND PUBLIC ROADS.
9. CONTRACTOR IS TO PROTECT EXISTING AND PROPOSED STORM DRAINAGE SYSTEM.
10. ALL UTILITIES, SLEEVING, AND STORM DRAIN PIPE UNDER PAVED AREAS SHALL RECEIVE SELECT BACKFILL FULL DEPTH COMPACTED TO 95% STANDARD PROCTOR.

SCALE:  
1"=40'

ISSUE DATE:  
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**REVISIONS**

IFB 07/06/2021

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MAINTENANCE SHOP AND FACILITY IMPROVEMENTS  
ASHLAND, BENTON COUNTY, MISSISSIPPI

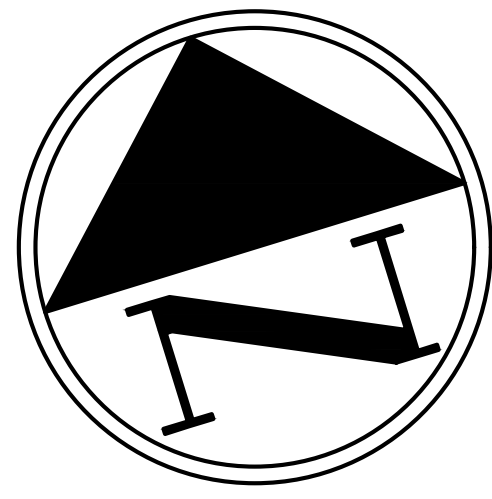
SHEET TITLE:  
SITE PLAN

PROJECT NO.

ASH-21001

SHEET NO.

**C-1.0**

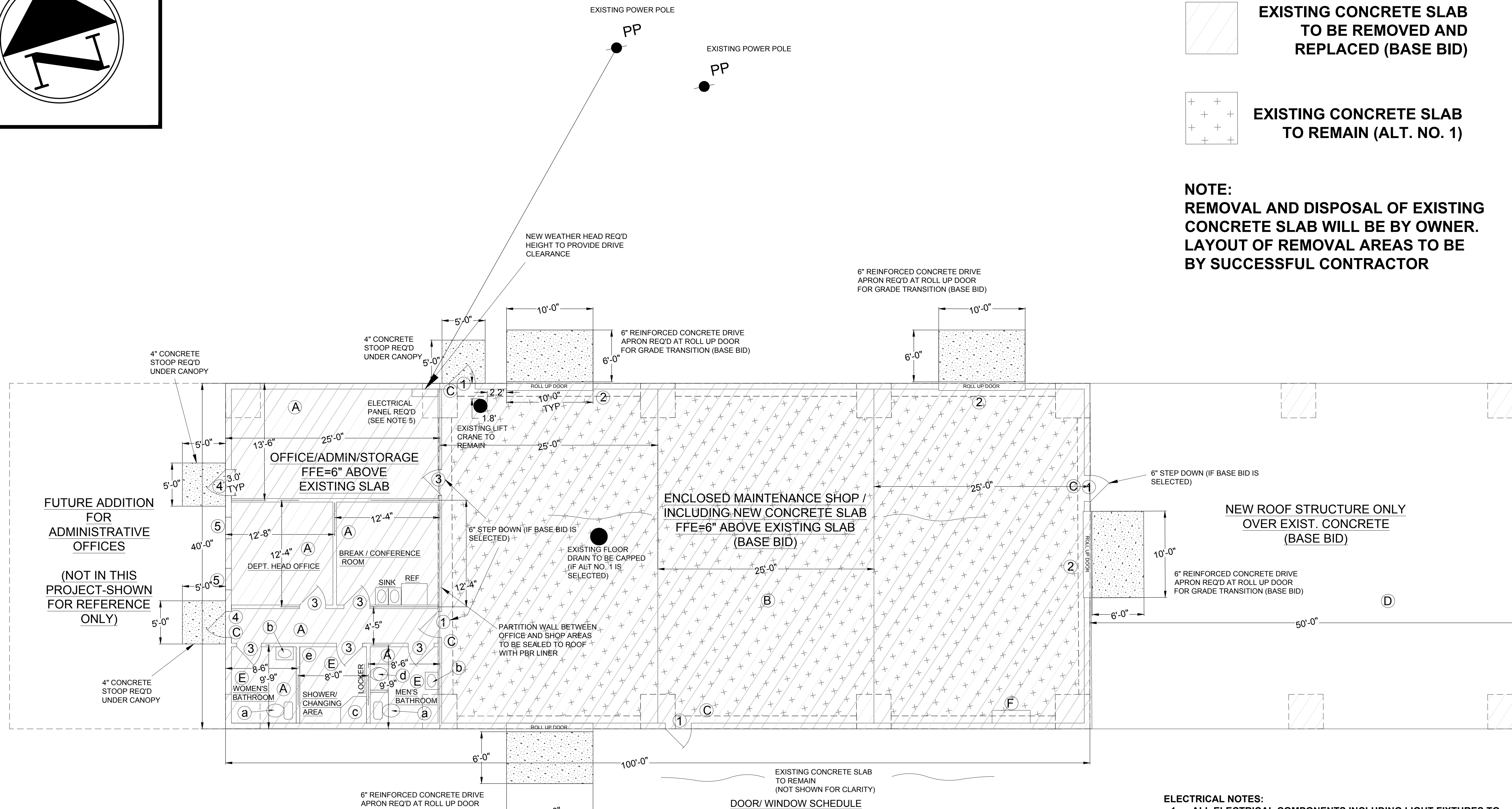


**LEGEND:**

 **EXISTING CONCRETE SLAB TO BE REMOVED AND REPLACED (BASE BID)**

 **EXISTING CONCRETE SLAB TO REMAIN (ALT. NO. 1)**

**NOTE:**  
**REMOVAL AND DISPOSAL OF EXISTING CONCRETE SLAB WILL BE BY OWNER. LAYOUT OF REMOVAL AREAS TO BE BY SUCCESSFUL CONTRACTOR**



**LIGHTING/FIXTURE SCHEDULE**

- (A) 2'X4' LED FLAT PANEL 4000K (NICOR T6C LED TROFFER OR EQUAL) THE ENCLOSED AREA LIGHTING FOOT CANDLES WILL COMPLY WITH INDUSTRY STANDARD FOR EACH AREA
- (B) 8' LED LIGHT FIXTURES (PER INDUSTRY STANDARD 70 LUMENS PER SQ. FT.)
- (C) EMERGENCY EXIT LIGHTING WILL BE PROVIDED USING BATTERY EGRESS FIXTURES TO MEET APPLICABLE CODE. (EXIT LIGHT COMBO)
- (D) LED ALL WEATHER LOW BAY LIGHT FIXTURES (PER INDUSTRY STANDARD 70 LUMENS PER SQ. FT.)
- (E) 70 CFM (MIN.) EXHAUST FAN. (UTILITECH MODEL #711-04-L OR EQUAL)
- (F) 30 INCH HARDWIRED WALL MOUNT EXHAUST FAN WITH AUTOMATIC SHUTTERS. CONTINENTAL DYNAMICS 1/2 HP, 2 SPEED. (ITEM #T9F29448A OR EQUAL)

**HVAC NOTES:**

1. ALL HVAC, MECHANICAL, AND PLUMBING FIXTURES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH WATER, SEWER, AND GAS UTILITY COMPANIES FOR NEW SERVICE(S). CONTRACTOR WILL NOT BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH THESE SERVICES BEYOND 10' FROM THE PROPOSED BUILDING.
3. CONTRACTOR TO PROVIDE COMPLETE PROPOSED DESIGN FOR HVAC SYSTEM, MECHANICAL, AND PLUMBING FOR PROPOSED BUILDING, PER SPECIFICATIONS.
4. HVAC SYSTEM AND DUCTWORK SHALL BE DESIGNED FOR FRONT OFFICE AND FUTURE AREAS ONLY (2,000 SQ. FT.)

**DOOR/ WINDOW SCHEDULE**

- 1 36" x 84" HALF LIGHT W/ 0.030 LAMINATED BRONZE GLASS RIM PANIC, STANDARD THRESHOLD
- 2 10' ELECTRIC ROLL UP DOOR (DBC1 2500 SERIES OR EQUAL)
- 3 36" x 84" SOLID DOOR, STANDARD THRESHOLD
- 4 36"X84" NON TRANSOM STOREFRONT 2"X4 1/2" FRAME, STANDARD 10" BOTTOM RAIL, PUSH PULL HARDWARE W/ OFFSET PIVOTS AND 1" GLASS STOPS
- 5 30"X60" STOREFRONT PICTURE WINDOW. 1" BRONZE TEMPERED INSULATED GLASS 2"X4 1/2" FRAME

**PLUMBING SCHEDULE**

- (a) COMMERCIAL GRADE PRESSURE TOILET (KOHLER K-3493 OR EQUAL) WITH COMMERCIAL HEAVY-DUTY TOILET SEAT (BEMIS 1955CT OR EQUAL)
- (b) WALL-MOUNT LAVATORY (KOHLER K-2032 OR EQUAL) WITH 2 HANDLE LAVATORY FAUCET (PEERLESS P248LF-M OR EQUAL)
- (c) ONE PIECE SHOWER UNIT REQUIRED
- (d) COMMERCIAL GRADE HIGH EFFICIENCY WALL MOUNT URINAL (KOHLER K-4991-ET OR EQUAL)
- (e) 40 GALLON NATURAL GAS HOT WATER HEATER 35,500 BTO MINIMUM. (A.O. SMITH MODEL #G6-T4035 NVR OR EQUAL)

**ELECTRICAL NOTES:**

1. ALL ELECTRICAL COMPONENTS INCLUDING LIGHT FIXTURES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH SERVICE COMPANY FOR NEW ELECTRICAL SERVICE. CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH GETTING NEW ELECTRICAL SERVICE TO THIS PROPOSED BUILDING AND IS TO BE INCLUDED IN BID.
3. CONTRACTOR TO PROVIDE COMPLETE ELECTRICAL SYSTEM FOR PROPOSED BUILDING, PER SPECIFICATIONS (TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION)
4. A MINIMUM OF 4 EACH 120 VOLT OUTLETS PER ROOM IN FINISHED OFFICE/ADMIN AREA. A MINIMUM OF 2 EACH 120 VOLT GFI OUTLETS PER BATH AND SHOWER AREAS.
5. A MINIMUM OF 2 EACH 240 VOLT OUTLETS AND 4 EACH 120 VOLT OUTLETS REQUIRED PER WORK BAY, INCLUDING COVERED AREA
6. ONE EACH 200 AMP CIRCUIT PANEL REQ'D (40-42 CIRCUIT MINIMUM)

**PLUMBING NOTES:**

1. ALL PLUMBING FIXTURES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH WATER, SEWER, AND GAS UTILITY COMPANIES FOR NEW SERVICE(S). CONTRACTOR WILL NOT BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH THESE SERVICES BEYOND 10' FROM THE PROPOSED BUILDING.
3. CONTRACTOR TO PROVIDE COMPLETE PROPOSED DESIGN FOR PLUMBING FOR PROPOSED BUILDING, PER SPECIFICATIONS.

SCALE:  
 GRAPHIC  
 ISSUE DATE:  
 JULY, 2021

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REVISIONS  
 IFB 07/06/2021

PROJECT TITLE:  
 MAINTENANCE SHOP AND FACILITY IMPROVEMENTS  
 ASHLAND, BENTON COUNTY, MISSISSIPPI

SHEET TITLE:  
 PLAN VIEW

PROJECT NO.  
 ASH-21001

SHEET NO.  
**C-2.0**

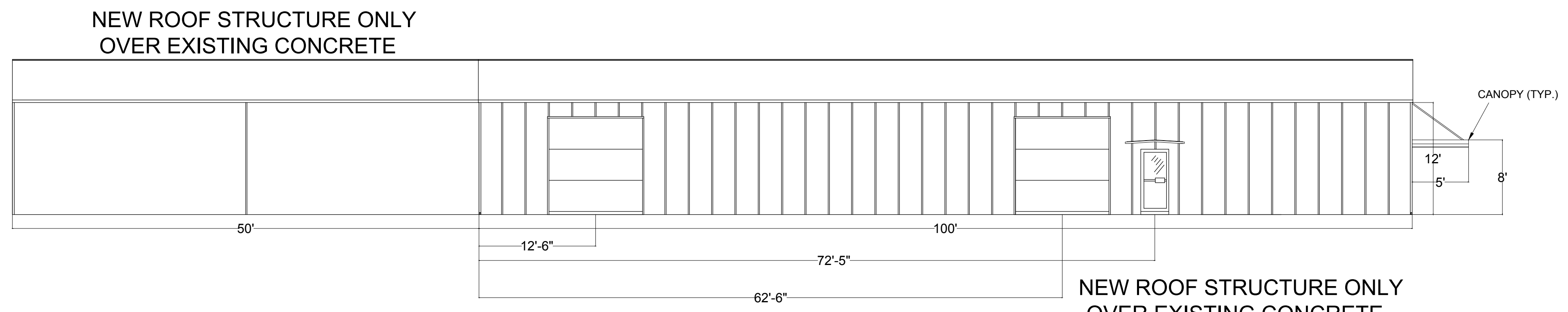
SCALE:  
1/4" = 1'-0"

ISSUE DATE:  
JULY, 2021

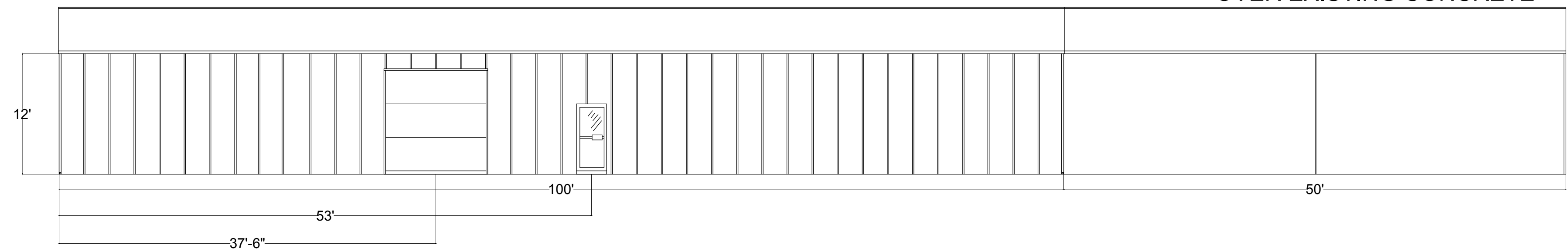
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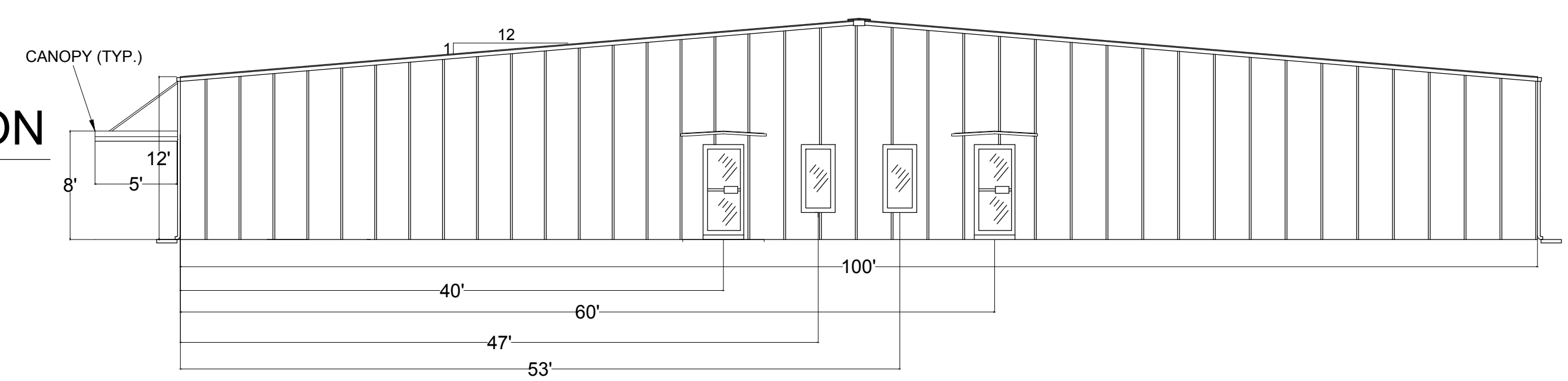
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



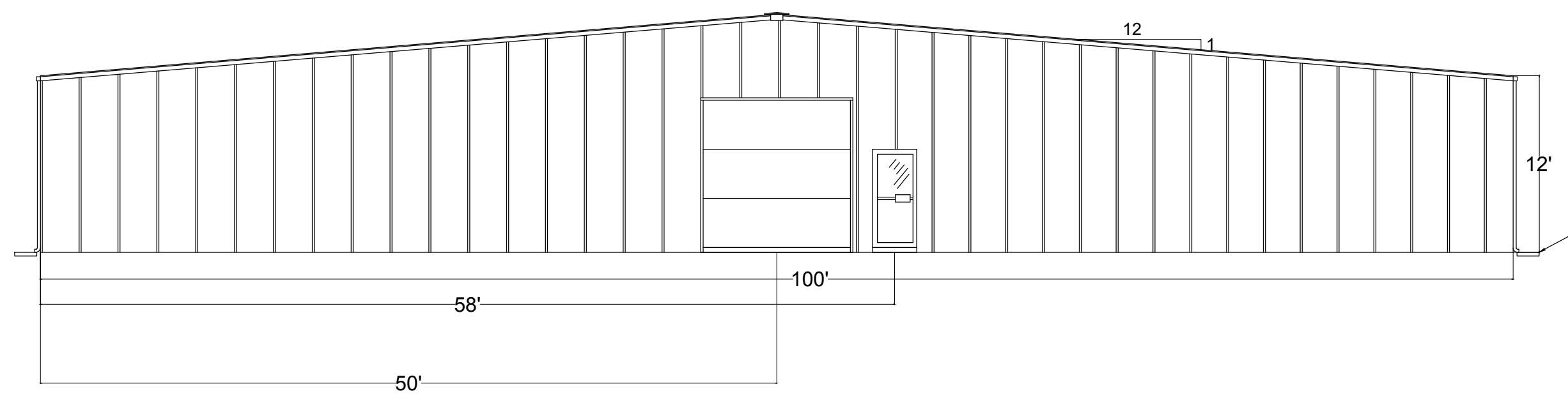
**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



REVISIONS

IFB	07/06/2021

PROJECT TITLE:  
MAINTENANCE BUILDING AND FACILITY IMPROVEMENTS  
ASHLAND, BENTON COUNTY, MISSISSIPPI

SHEET TITLE:  
ELEVATION VIEW

PROJECT NO.  
ASH-21001

SHEET NO.  
**C-3.0**

**BUILDING NOTES:**

1. THE PRE-ENGINEERED BUILDING IS TO BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2015 EDITION OF THE INTERNATIONAL BUILDING CODE AND THE LATEST EDITION OF THE METAL BUILDING MANUFACTURES ASSOCIATION. ALL PLANS TO BE SEALED BY AN ENGINEER REGISTERED IN THE STATE OF MISSISSIPPI.

2. THE PRE-ENGINEERED BUILDING PACKAGE IS TO BE A COMPLETE DESIGN INCLUDING BUT NOT LIMITED TO, STRUCTURAL FRAMING BEAMS AND COLUMNS, HORIZONTAL WIND BEAMS, MISC. FRAMING, BRACING, PURLINS, GIRTS, STEEL WALL AND ROOF PANELS, AND ANY FRAMING NEEDED TO SUPPORT ARCHITECTURAL COMPONENTS.

3. THE BUILDING AND SITE MUST BE BUILT TO MEET THE APPLICABLE REQUIREMENTS OF:

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODE
- 2015 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL RESIDENTIAL CODE

\*THE CONTRACTOR IS RESPONSIBLE FOR MEETING ANY CITY, COUNTY, OR STATE SPECIFIC CODES THAT MAY BE UPDATED FROM THE MINIMUM REQUIREMENTS OF THE 2015 INTERNATIONAL CODES.

4. BUILDING EXTERIOR COLOR(S) COORDINATED WITH OWNER SELECTION .

5. THE INTERIOR WALLS IN OFFICE/BATHROOM/ADMIN AREAS SHALL BE CONSTRUCTED USING EITHER WOOD STUDS OR METAL STUDS WITH 1/2" DRYWALL FINISH.

6. ALL ROOMS SHALL HAVE AN 8' SUSPENDED CEILING, INTERIOR WALLS, FLOOR TRIM, AND INSULATION THROUGHOUT. BATH WALLS SHALL RECEIVE 1/2" WET-DRY GYPSUM BOARD FINISHED AND PAINTED. CEILING SHALL BE SUSPENDED ACOUSTICAL.

7. ALL OFFICE AREA FLOOR COVERINGS SHALL BE VCT TILE OR PAINTED CONCRETE UNLESS NOTED OTHERWISE. CONCRETE FLOOR PAINT COLOR SHALL BE COORDINATED WITH THE OWNER. CONTRACTOR SHALL PRESENT THE COST ALLOWANCE TO THE OWNER TO LEAVE CONCRETE NATURAL FINISH

8. BATHROOM VANITIES SHALL BE SOLID WOOD CONSTRUCTION AND CORRESPOND WITH THE LAYOUT SHOWN ON THIS SHEET WITH FORMICA COUNTER TOPS.

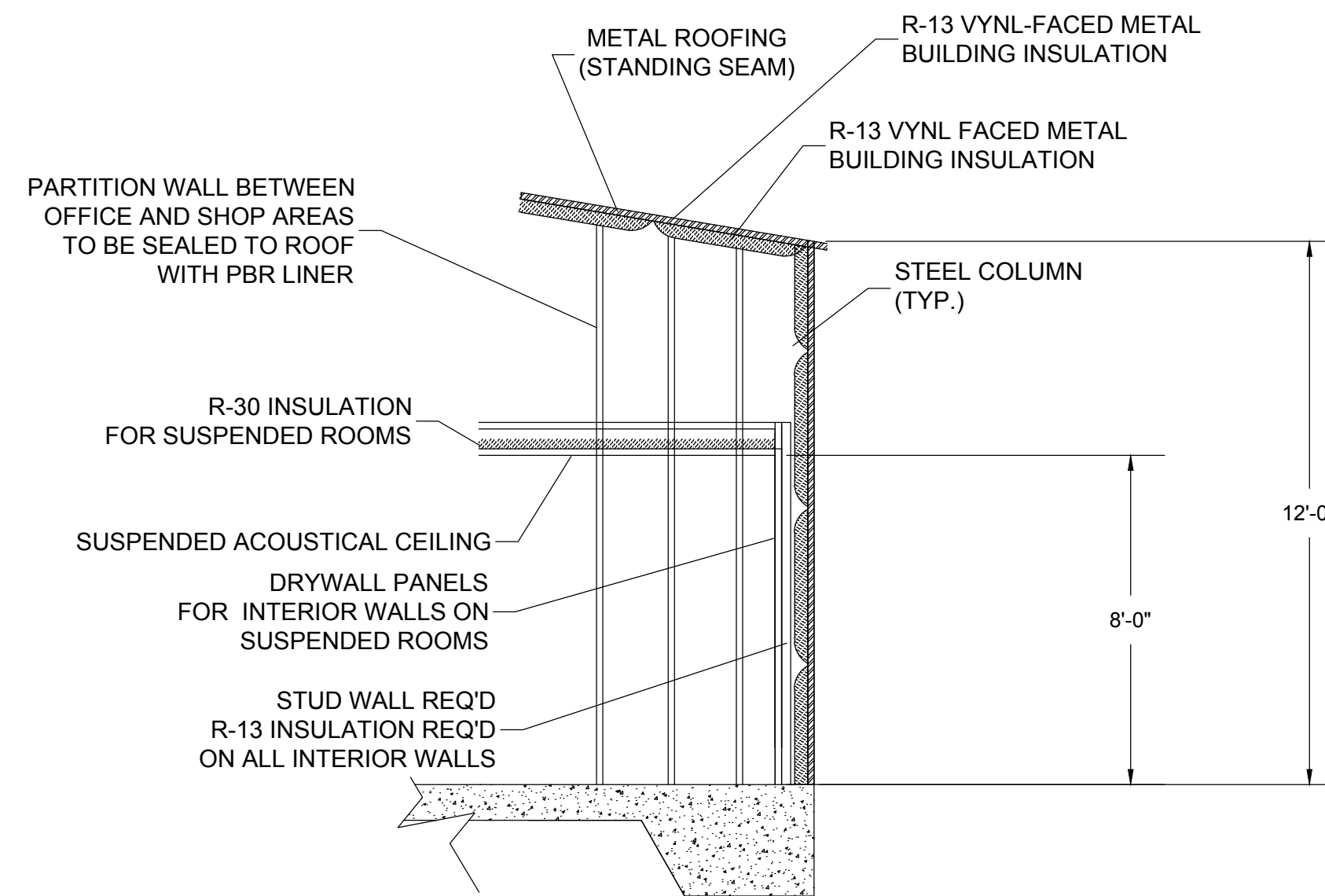
9. ALL DOORS SHALL INCLUDE HARDWARE. CONTRACTOR SHALL COORDINATE STYLE/FINISH WITH OWNER. ALL STEEL DOORS SHALL HAVE CLOSERS INSTALLED.

10. ALL EXTERIOR & INTERIOR DOORS ARE TO BE HOLLOW CORE METAL, UNLESS NOTED OTHERWISE. EXTERIOR DOORS SHALL HAVE LOCKING DEAD BOLT AND KNOB. ALL EXTERIOR DOORS SHALL BE KEYED ALIKE.

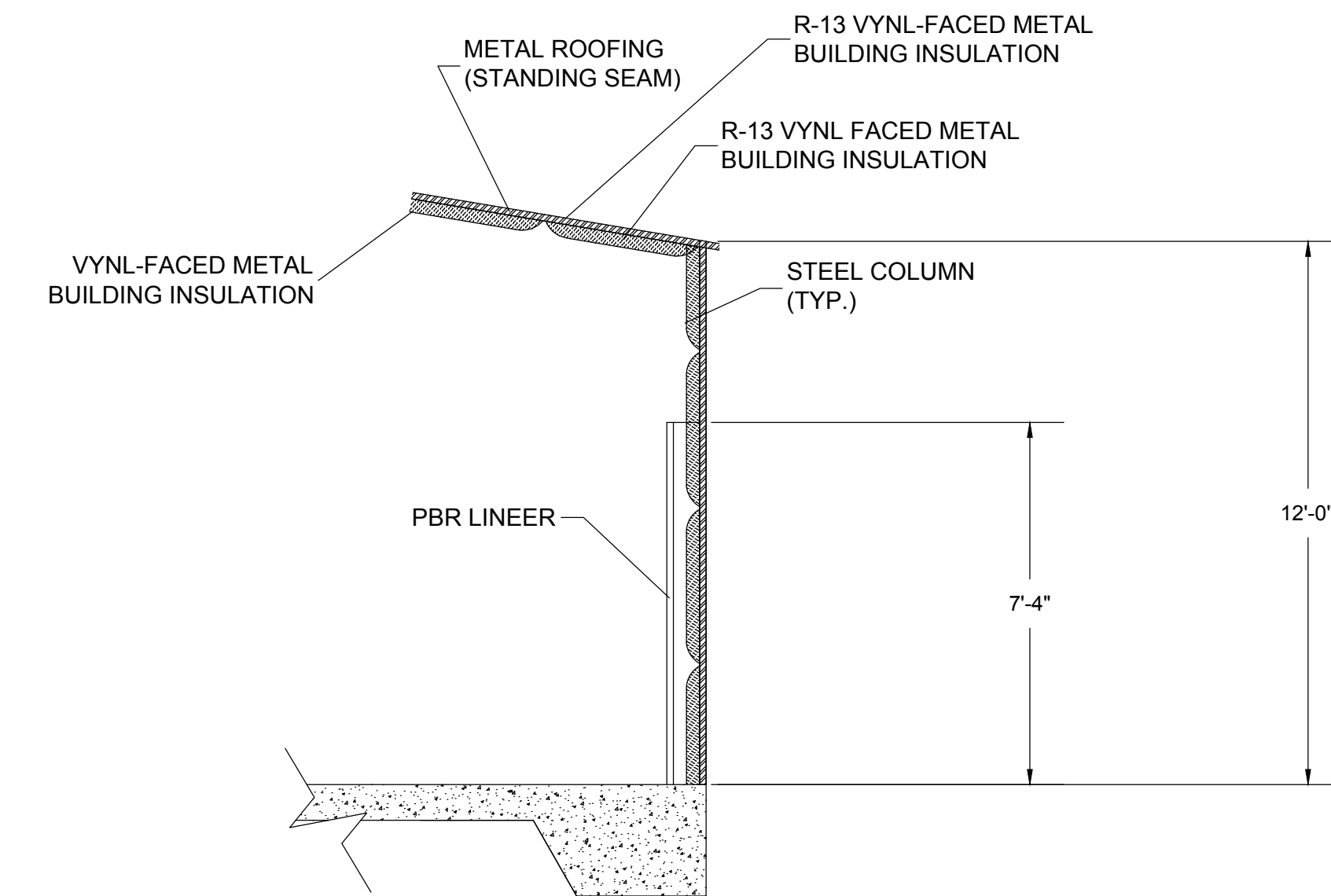
11. ALL EXTERIOR WALLS AND ROOF TO HAVE 4" WMP-VR INSULATION INSTALLED.

12. RESTROOMS TO MEET CURRENT ADA STANDARDS.

13. HVAC DUCTWORK AND EFFLUENT PIPING NOT SHOWN FOR CLARITY. CONTRACTOR SHALL PROVIDE A COMPLETE DESIGN OF MECHANICAL SYSTEM INCLUDING HVAC PER SPECIFICATIONS FOR APPROVAL PRIOR TO CONSTRUCTION. ALL REFERENCES TO THE QUANTITY AND SIZE FOR MECHANICAL COMPONENTS IN THE CONTRACT DOCUMENTS AND PLANS ARE MINIMUM REQUIREMENTS AND SHALL BE DESIGNED AS REQUIRED TO PROVIDE OCCUPANT COMFORT, ENERGY EFFICIENCY AND FUTURE FLEXIBILITY FOR FINAL DESIGN. (2,000 SQ. FT. MINIMUM)



**OFFICE/BATHROOM/ADMIN AREA TYPICAL WALL SECTION**  
N.T.S.



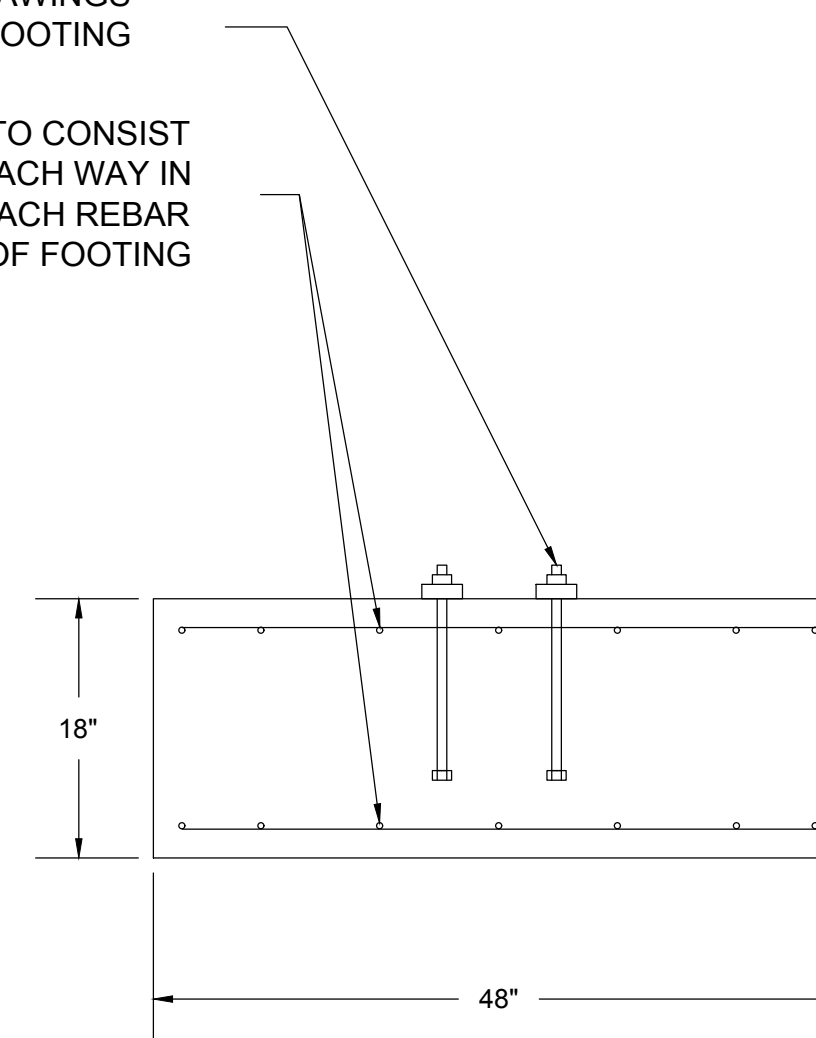
**ENCLOSED SHOP AREA TYPICAL WALL SECTION**  
N.T.S.

**FOUNDATION NOTES:**

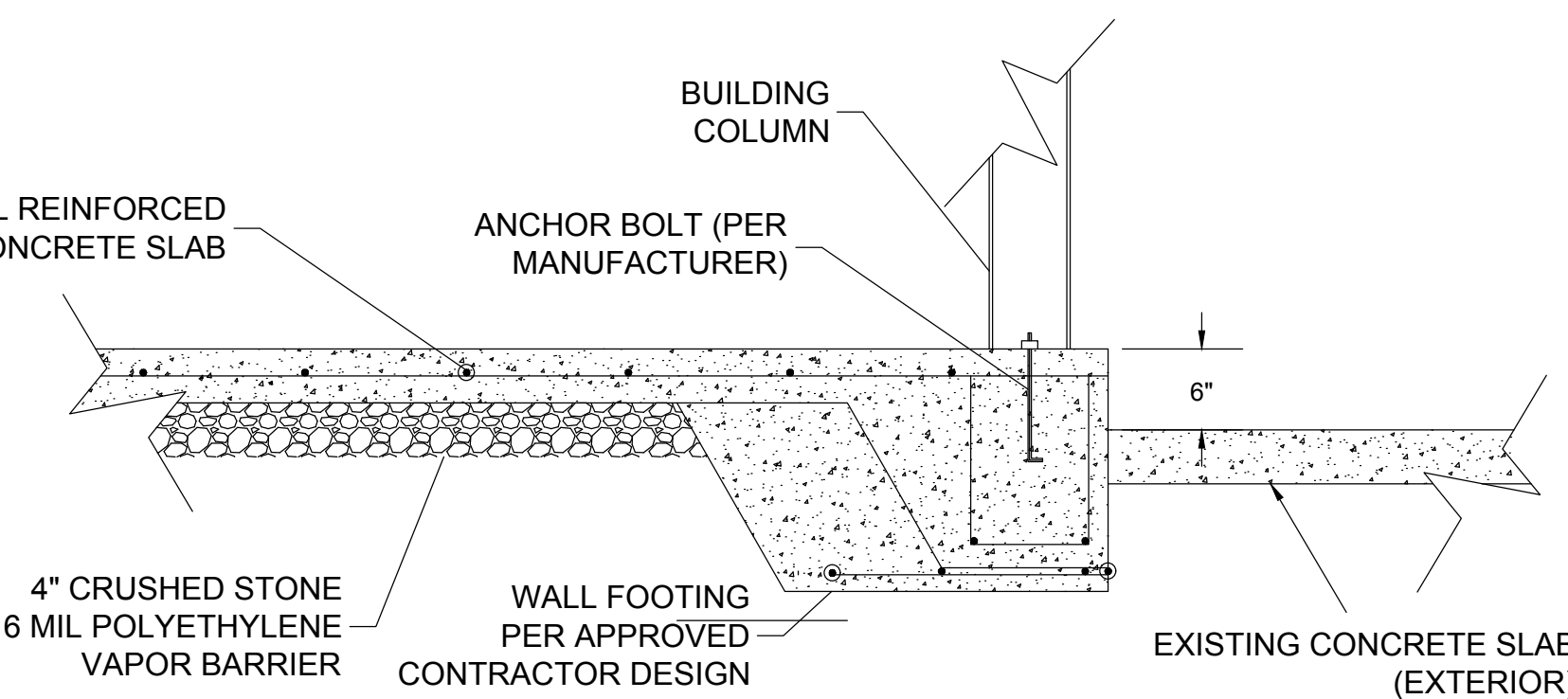
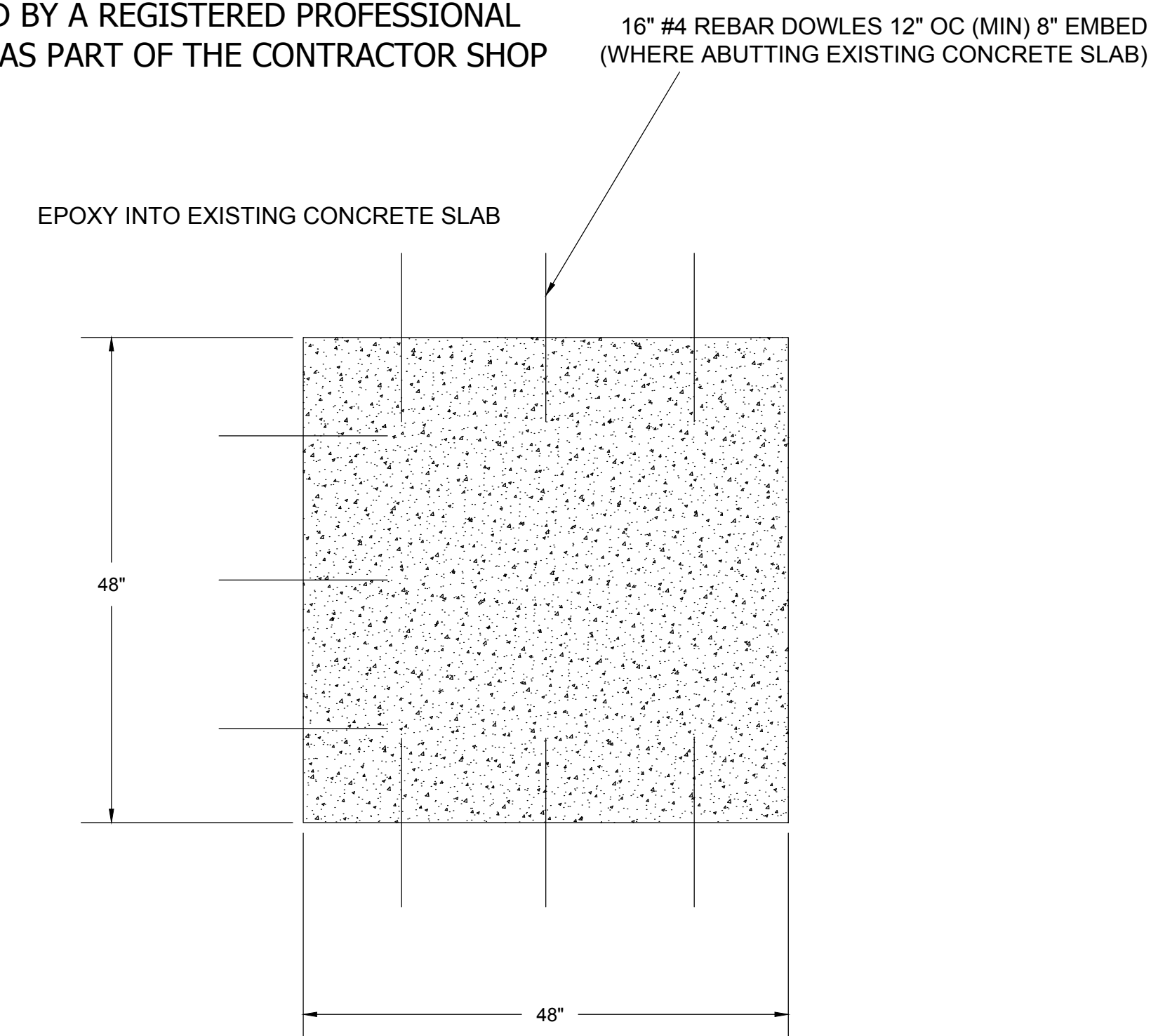
1. THE DETAILS ON THIS SHEET SHOW GENERAL INFORMATION FOR THE BUILDING FOUNDATION. CONTRACTOR SHALL PROVIDE A BUILDING FOUNDATION PLAN SIGNED AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MISSISSIPPI AS PART OF THE CONTRACTOR SHOP DRAWING SUBMITTAL.

ANCHOR BOLTS (4). SEE METAL BUILDING DRAWINGS FOR LAYOUT. EMBED 15" MIN INTO FOOTING

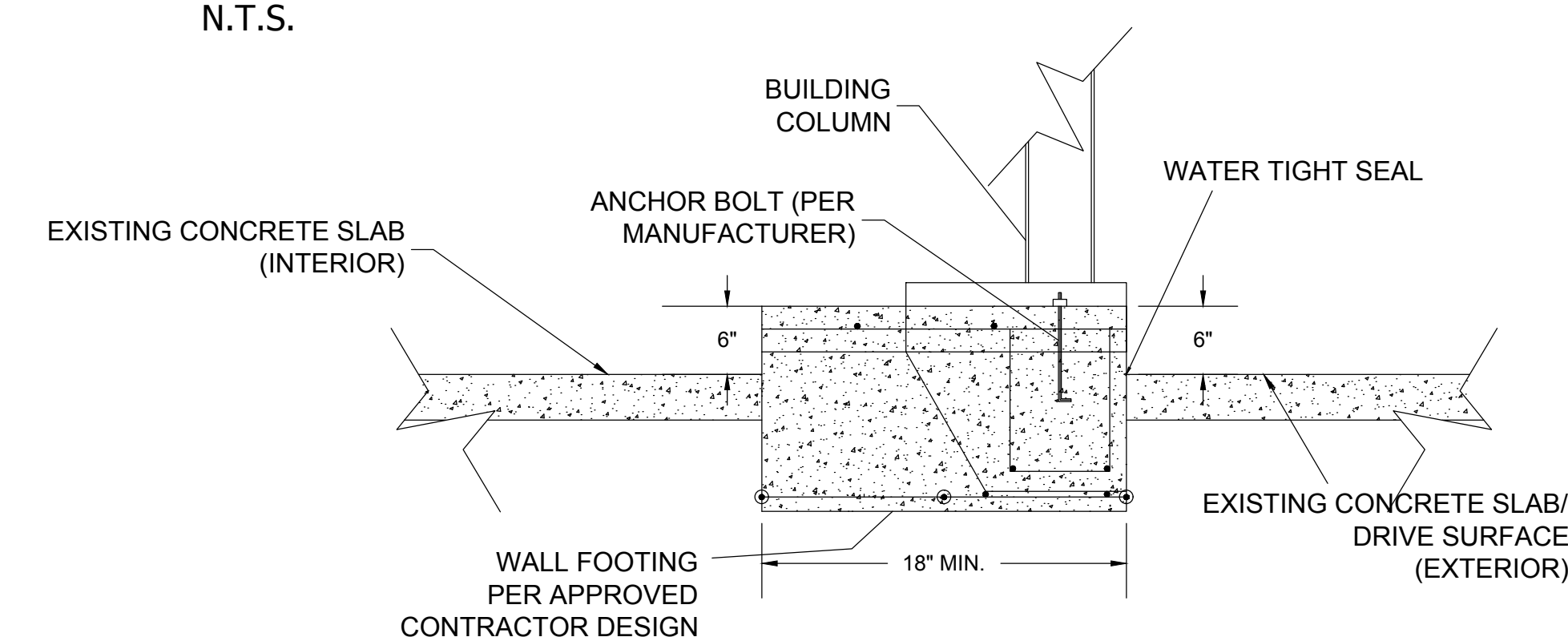
FOOTING REINFORCING TO CONSIST OF #4 BARS AT 12"OC EACH WAY IN TOP AND BOTTOM. PLACE EACH REBAR MAT 3" CLEAR ALONG ALL SIDES OF FOOTING



**TYPICAL PIER DETAIL**  
N.T.S.



**TYPICAL SLAB/FOOTING DETAIL (BASE BID)**  
N.T.S.



**TYPICAL SLAB/FOOTING DETAIL (ALT. NO. 1)**  
N.T.S.

SCALE:  
N.T.S.

ISSUE DATE:  
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**D-1.0**