

CONTRACT ADDENDUM

Contract Addendum No.: One (1)

Addendum Date: 8/6/2021

NAME OF PROJECT:

**ASHLAND MUNICIPAL COMPLEX BUILDING
TOWN OF ASHLAND, MISSISSIPPI**

OWNER: City of Ripley, MS

The following additions, changes, clarifications, and substitutions are hereby made to the PLANS, CONTRACT DOCUMENTS AND TECHNICAL SPECIFICATIONS and are now considered a part of the bidding documents. Acknowledge receipt of this addendum by inserting its number and date in the proposal form. Bids submitted without acknowledging receipt of the addendum may be considered non-responsive.

SPECIFICATIONS

1. **Section 13120, 2.04 Components:** Exterior Surfaces: Delete Kynar 500 Finish. Finish to be Painted, Standard Color w/ 20 Year warranty.

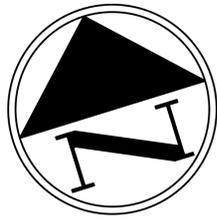
PLAN DRAWINGS

1. Drawing C-2.0 PLAN VIEW , REV. IFB 07-06-21 – **Replace** in its entirety with **Attachment No. 1 to Addendum No. 1.** (Drawing C-2.0 PLAN VIEW, REV. IFB 08-06-21).
2. Drawing C-3.0 ELEVATION VIEW, REV. IFB 07-06-21 – **Replace** in its entirety with **Attachment No. 2 to Addendum No. 1.** (Drawing C-3.0 ELEVATION VIEW, REV. IFB 08-06-21).

CONTRACTOR QUESTIONS / CLARIFICATIONS

1. Will QA/QC testing be owner or contractor provided? **All QA/QC Testing will be provided by Contractor.**
2. The minimum time frame to get a PEMB on the job right now is about 9 months AFTER all approvals, colors selections, shop drawings approval, etc. We need to know how this situation would be handled when it comes to penalties and the 180 days allowed. **We understand the material related delays as well as the length of time (or lack thereof) the vendors are honoring quotes. To help with this we plan to hold a special meeting and make award/issue NTP within 7 days of bid to help the successful contractor issue PO for the PEMB. At award, we will request material submittal/delivery date info from PEMB Vendors and make any necessary adjustments to contract time based on a normal delivery timeframe. We will expect other work to progress during any delivery delays.**
3. Is fire protection required? **No.**
4. On the exterior around the building is there to be any landscaping? **No landscaping this contract.**

5. Please see RFI's below:
- a.) Bldg. Exposure ? **Building Exposure is Class C**
 - b.) Collateral Load ? **2 Lb. per SF (min.)**
 - c.) Live Load Reduction allowed ? **Yes**
 - d.) Columns – Tapered or Straight ? **Tapered**
 - e.) Wall Girt condition – Flush of By-Pass ? **Flush**
 - f.) Endwall Column Spacing ? **13/14/13 on Rear, 20/20 on Front**
 - g.) PBR Liner Panel – Gauge & Finish ? **Exterior Wall and Interior PBR Liner Panels to be 26 Ga Painted, Standard Color w/ 20 yr warranty**
 - h.) Expandable Frame at Left Endwall (Office Area) for future expansion ? **Yes, Designed for full load.**



LEGEND:

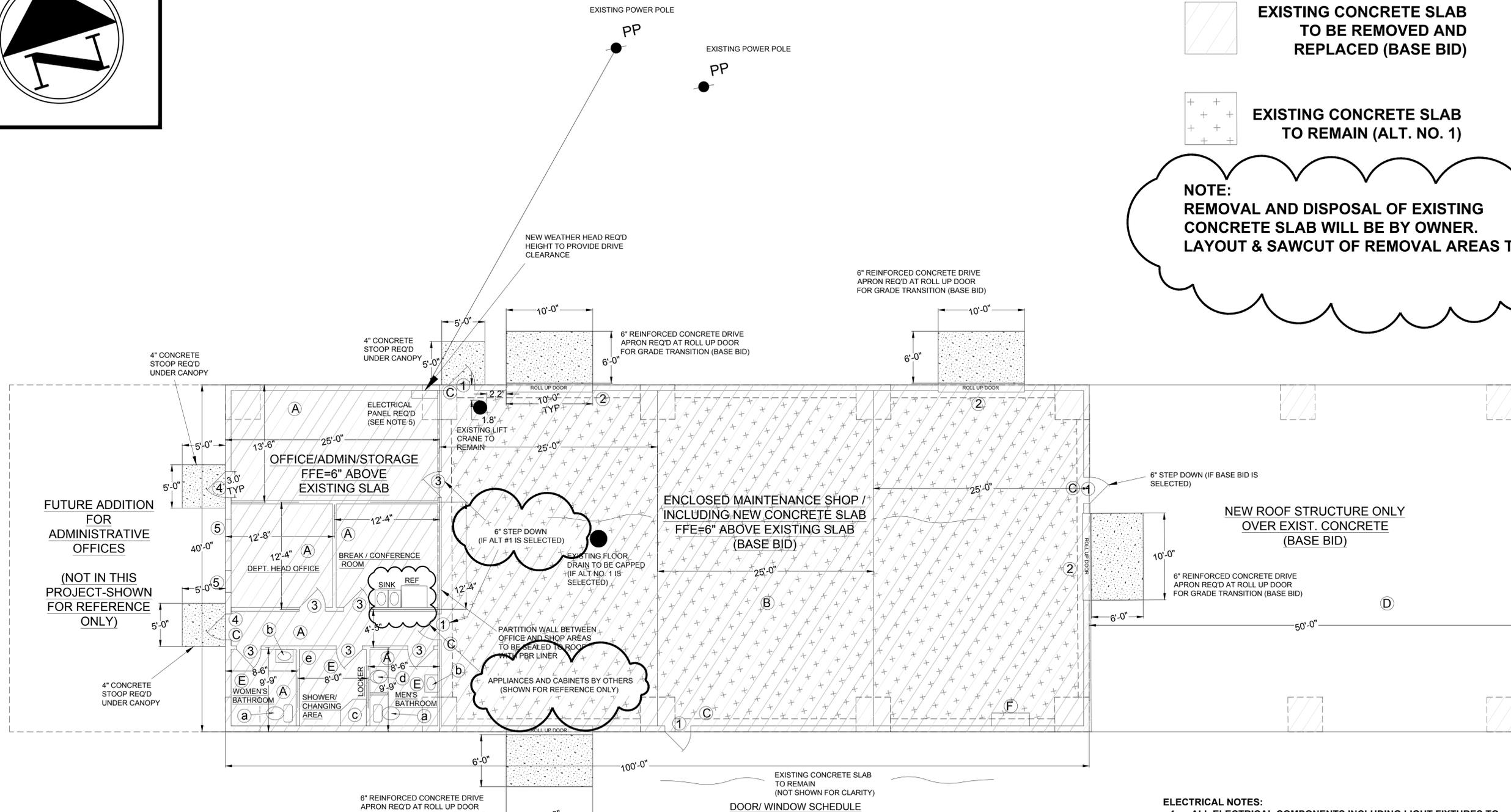


EXISTING CONCRETE SLAB TO BE REMOVED AND REPLACED (BASE BID)



EXISTING CONCRETE SLAB TO REMAIN (ALT. NO. 1)

NOTE:
REMOVAL AND DISPOSAL OF EXISTING CONCRETE SLAB WILL BE BY OWNER.
LAYOUT & SAWCUT OF REMOVAL AREAS TO BE



LIGHTING/FIXTURE SCHEDULE

- (A) 2'X4' LED FLAT PANEL 4000K (NICOR T6C LED TROFFER OR EQUAL) THE ENCLOSED AREA LIGHTING FOOT CANDLES WILL COMPLY WITH INDUSTRY STANDARD FOR EACH AREA
- (B) 8' LED LIGHT FIXTURES (PER INDUSTRY STANDARD 70 LUMENS PER SQ. FT.)
- (C) EMERGENCY EXIT LIGHTING WILL BE PROVIDED USING BATTERY EGRESS FIXTURES TO MEET APPLICABLE CODE. (EXIT LIGHT COMBO)
- (D) LED ALL WEATHER LOW BAY LIGHT FIXTURES (PER INDUSTRY STANDARD 70 LUMENS PER SQ. FT.)
- (E) 70 CFM (MIN.) EXHAUST FAN. (UTILITECH MODEL #711-04-L OR EQUAL)
- (F) 30 INCH HARDWIRED WALL MOUNT EXHAUST FAN WITH AUTOMATIC SHUTTERS. CONTINENTAL DYNAMICS 1/2 HP, 2 SPEED. (ITEM #T9F29448A OR EQUAL)

DOOR/ WINDOW SCHEDULE

- 1 36" x 84" HALF LIGHT W/ 0.030 LAMINATED BRONZE GLASS RIM PANIC, STANDARD THRESHOLD
- 2 10' ELECTRIC ROLL UP DOOR (DBC1 2500 SERIES OR EQUAL)
- 3 36" x 84" SOLID DOOR, STANDARD THRESHOLD
- 4 36"X84" NON TRANSOM STOREFRONT 2"X4 1/2" FRAME, STANDARD 10" BOTTOM RAIL, PUSH PULL HARDWARE W/ OFFSET PIVOTS AND 1" GLASS STOPS
- 5 30"X60" STOREFRONT PICTURE WINDOW. 1" BRONZE TEMPERED INSULATED GLASS 2"X4 1/2" FRAME

PLUMBING SCHEDULE

- a COMMERCIAL GRADE PRESSURE TOILET (KOHLER K-3493 OR EQUAL) WITH COMMERCIAL HEAVY-DUTY TOILET SEAT (BEMIS 1955CT OR EQUAL)
- b WALL-MOUNT LAVATORY (KOHLER K-2032 OR EQUAL) WITH 2 HANDLE LAVATORY FAUCET (PEERLESS P248LF-M OR EQUAL)
- c ONE PIECE SHOWER UNIT REQUIRED
- d COMMERCIAL GRADE HIGH EFFICIENCY WALL MOUNT URINAL (KOHLER K-4991-ET OR EQUAL)
- e 40 GALLON NATURAL GAS HOT WATER HEATER 35,500 BTO MINIMUM. (A.O. SMITH MODEL #G6-T4035 NVR OR EQUAL)

ELECTRICAL NOTES:

1. ALL ELECTRICAL COMPONENTS INCLUDING LIGHT FIXTURES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH SERVICE COMPANY FOR NEW ELECTRICAL SERVICE. CONTRACTOR WILL BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH GETTING NEW ELECTRICAL SERVICE TO THIS PROPOSED BUILDING AND IS TO BE INCLUDED IN BID.
3. CONTRACTOR TO PROVIDE COMPLETE ELECTRICAL SYSTEM FOR PROPOSED BUILDING, PER SPECIFICATIONS (TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION)
4. A MINIMUM OF 4 EACH 120 VOLT OUTLETS PER ROOM IN FINISHED OFFICE/ADMIN AREA. A MINIMUM OF 2 EACH 120 VOLT GFI OUTLETS PER BATH AND SHOWER AREAS.
5. A MINIMUM OF 2 EACH 240 VOLT OUTLETS AND 4 EACH 120 VOLT OUTLETS REQUIRED PER WORK BAY, INCLUDING COVERED AREA
6. ONE EACH 200 AMP CIRCUIT PANEL REQ'D (40-42 CIRCUIT MINIMUM)

PLUMBING NOTES:

1. ALL PLUMBING FIXTURES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH WATER, SEWER, AND GAS UTILITY COMPANIES FOR NEW SERVICE(S). CONTRACTOR WILL NOT BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH THESE SERVICES BEYOND 10' FROM THE PROPOSED BUILDING.
3. CONTRACTOR TO PROVIDE COMPLETE PROPOSED DESIGN FOR PLUMBING FOR PROPOSED BUILDING, PER SPECIFICATIONS.

HVAC NOTES:

1. ALL HVAC, MECHANICAL, AND PLUMBING FIXTURES TO BE SUBMITTED FOR APPROVAL PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO COORDINATE WITH WATER, SEWER, AND GAS UTILITY COMPANIES FOR NEW SERVICE(S). CONTRACTOR WILL NOT BE RESPONSIBLE FOR ANY COST ASSOCIATED WITH THESE SERVICES BEYOND 10' FROM THE PROPOSED BUILDING.
3. CONTRACTOR TO PROVIDE COMPLETE PROPOSED DESIGN FOR HVAC SYSTEM, MECHANICAL, AND PLUMBING FOR PROPOSED BUILDING, PER SPECIFICATIONS.
4. HVAC SYSTEM AND DUCTWORK SHALL BE DESIGNED FOR FRONT OFFICE AND FUTURE AREAS ONLY (2,000 SQ. FT.)

SCALE:
GRAPHIC
ISSUE DATE:
JULY, 2021

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ENGINEERING
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REVISIONS
IFB 07/06/2021
REV#1 IFB 08/06/2021

PROJECT TITLE:
MAINTENANCE SHOP AND FACILITY IMPROVEMENTS
ASHLAND, BENTON COUNTY, MISSISSIPPI
SHEET TITLE:
PLAN VIEW

PROJECT NO.
ASH-21001

SHEET NO.
C-2.0

SCALE:
GRAPHIC

ISSUE DATE:
JULY, 2021

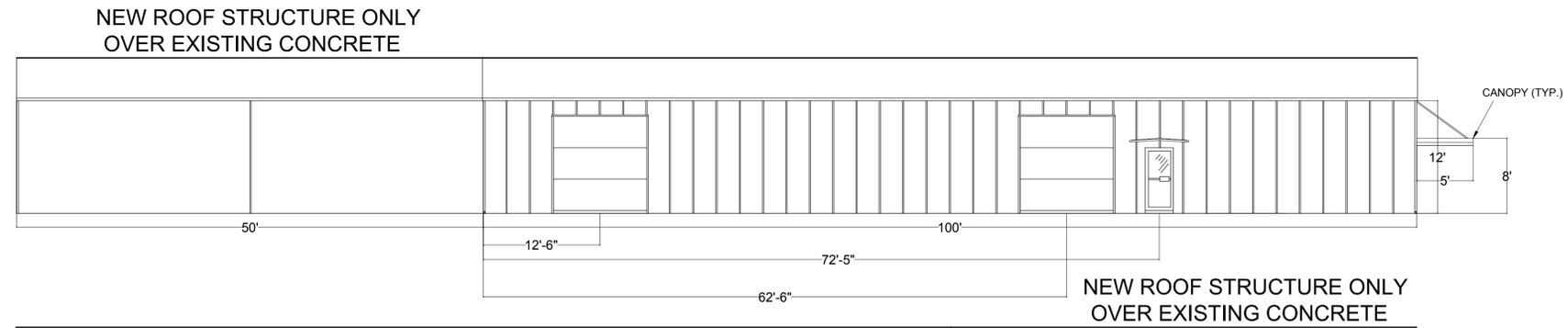
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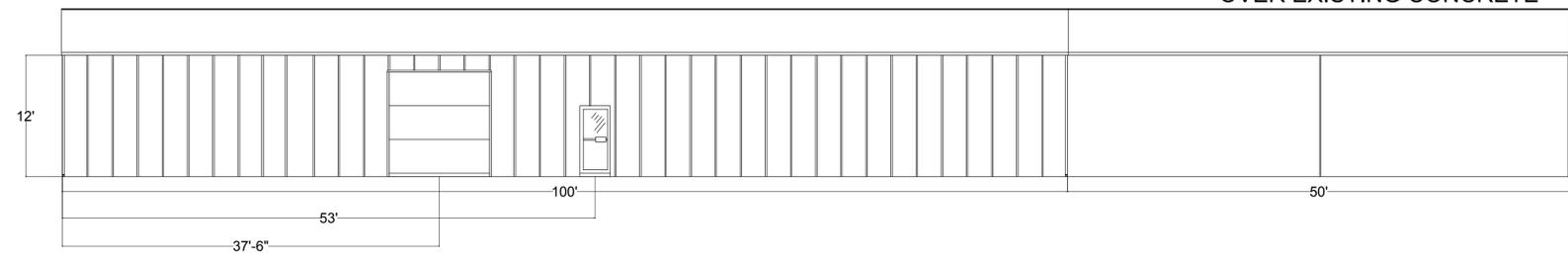
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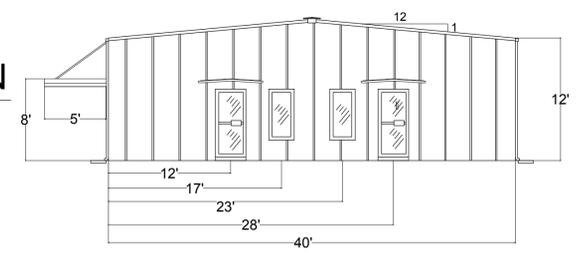
LEFT SIDE ELEVATION



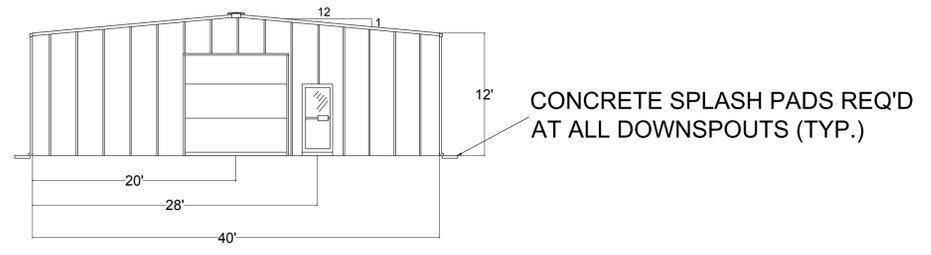
RIGHT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



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MAINTENANCE BUILDING AND FACILITY IMPROVEMENTS
ASHLAND, BENTON COUNTY, MISSISSIPPI

SHEET TITLE:
ELEVATION VIEW

PROJECT NO.
ASH-21001

SHEET NO.
C-3.0